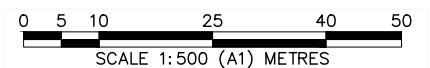


TYPICAL ROAD CROSS SECTION
9.0m WIDE ROAD
SCALE: 1:100 (A1) 1:200 (A3)

LEGEND	
MARK	ITEM
	PROPOSED ROAD
	PROPOSED CONCRETE FOOTPATH
	PROPOSED RETAINING WALL
	PROPOSED BOUNDARY
	PROPOSED EASEMENT
	APPROX EXTENT OF EXISTING UNCONTROLLED FILL
	INDICATES AREA OF PROPOSED CUT EARTHWORKS TO REMOVE UP TO APPROX 1m OF UNCONTROLLED FILL
	PROPOSED STORMWATER PIT
	PROPOSED SEWER MANHOLE
	EXISTING TREE
	EXISTING BUILDING
	EXISTING MAJOR CONTOURS AT 1.5m INCREMENTS
	EXISTING MINOR CONTOURS AT 0.3m INCREMENTS

NOTES

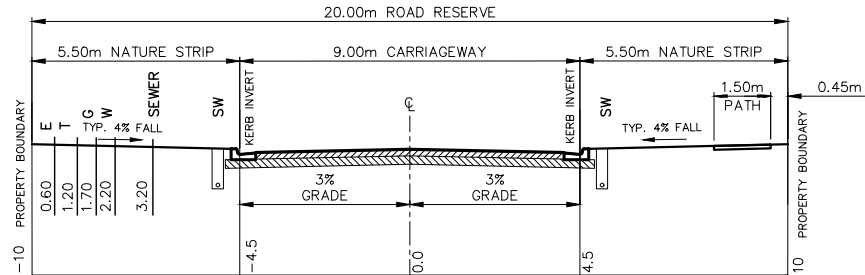
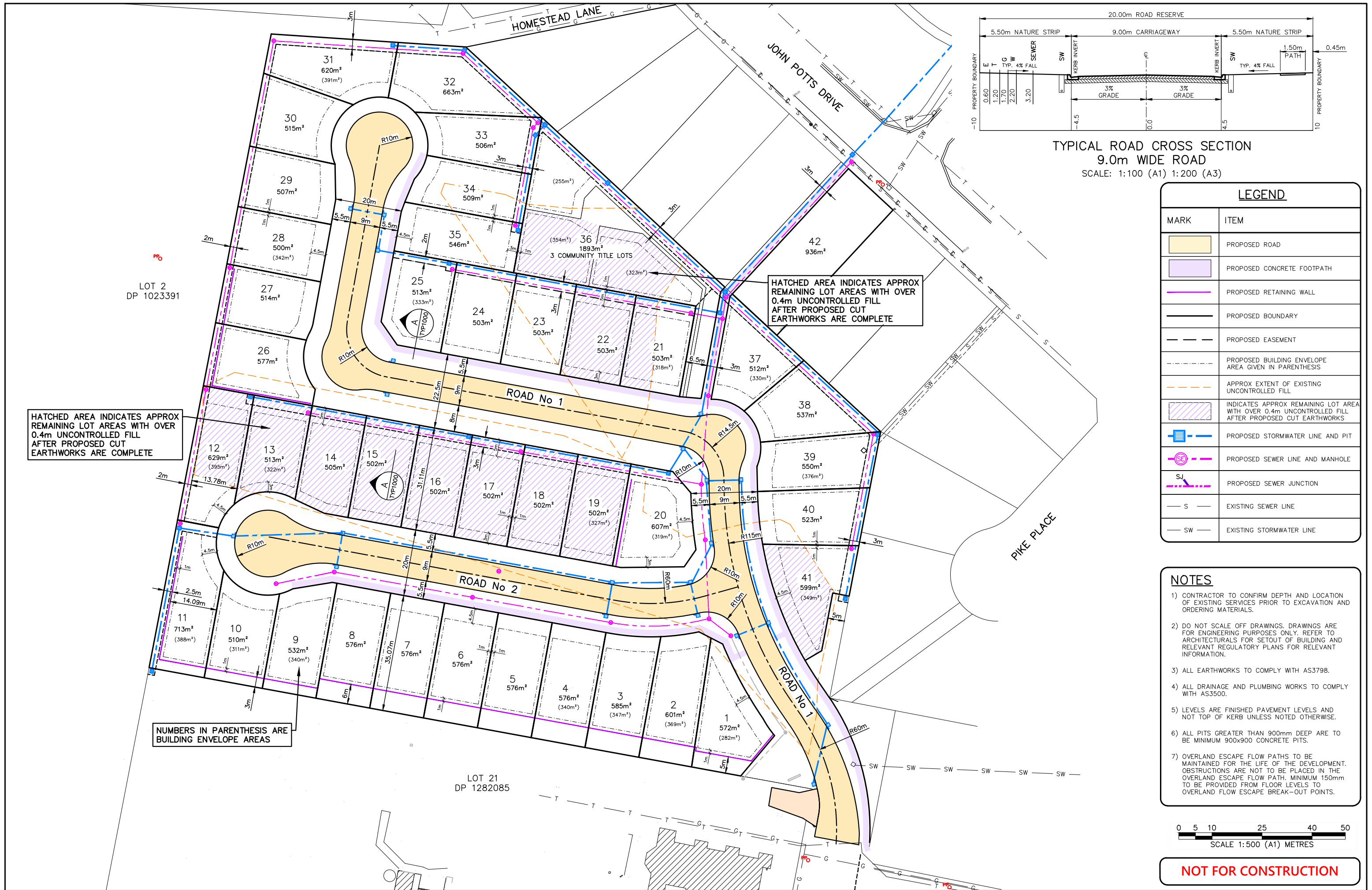
- CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
- DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
- ALL EARTHWORKS TO COMPLY WITH AS3798.
- ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
- LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
- ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
- OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.



NOT FOR CONSTRUCTION

	 UNDER GROUND SERVICES ARE APPROXIMATE ONLY. CONTACT RELEVANT AUTHORITY PRIOR TO ANY EXCAVATION OR CONSTRUCTION.	P5	19.07.2024	RE-ISSUED FOR DA APPROVAL	S.X
		P4	04.06.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
		P3	11.04.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
		P2	06.03.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
		No.	DATE	DETAILS	BY
		5 BYE STREET WAGGA WAGGA, NSW, 2650 P (02) 6925 5855 F (02) 6925 5655 E WAGGA@XEROSPICCOLO.COM.AU A.C.N. 137 881 853			
		Project: PROPOSED SUBDIVISION JOHN POTTS DRIVE JUNEE NSW 2663			
		Sheet Title: PROPOSED SUBDIVISION LAYOUT AERIAL			
		Client: TROY RAULSTON HOMES		Checked:	
		Scale: 1:500 (A1) 1:1000 (A3) OR AS SHOWN		Approved:	
		Design: S.X	Drawn: C.A	Date: FEB 2024	
		Project Number: 230781		Sheet Number: A1000	Revision Number: P5

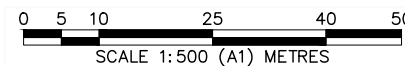




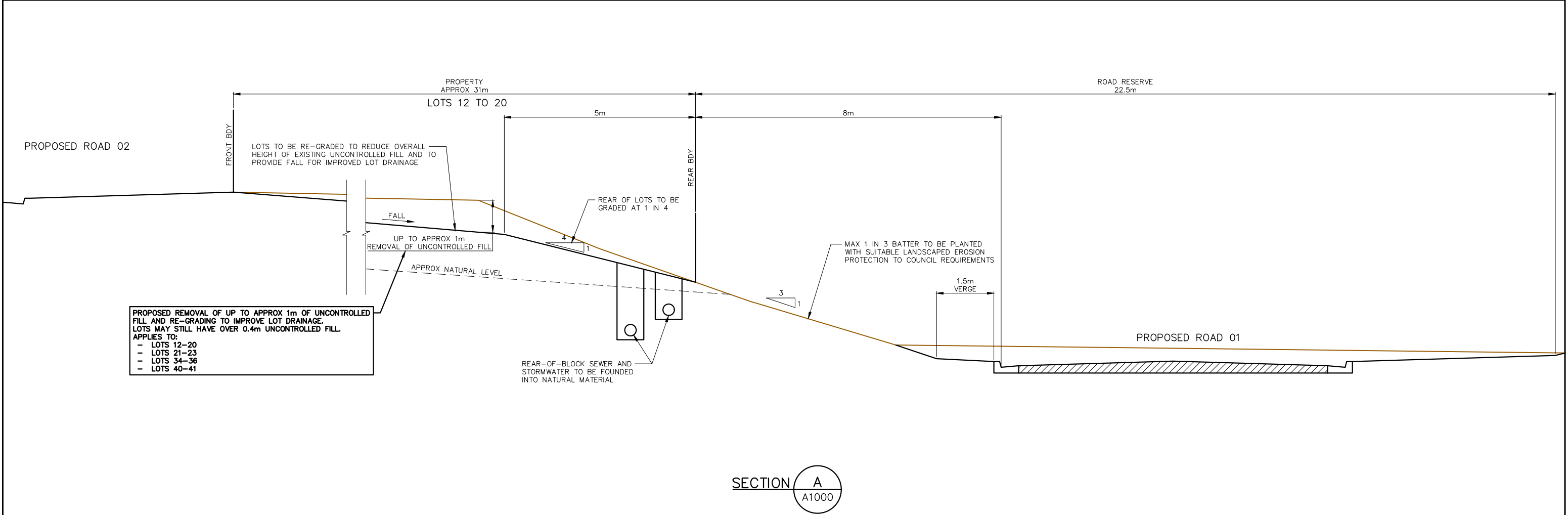
TYPICAL ROAD CROSS SECTION
9.0m WIDE ROAD
SCALE: 1:100 (A1) 1:200 (A3)

LEGEND	
MARK	ITEM
	PROPOSED ROAD
	PROPOSED CONCRETE FOOTPATH
	PROPOSED RETAINING WALL
	PROPOSED BOUNDARY
	PROPOSED EASEMENT
	PROPOSED BUILDING ENVELOPE AREA GIVEN IN PARENTHESIS
	APPROX EXTENT OF EXISTING UNCONTROLLED FILL
	INDICATES APPROX REMAINING LOT AREA WITH OVER 0.4m UNCONTROLLED FILL AFTER PROPOSED CUT EARTHWORKS
	PROPOSED STORMWATER LINE AND PIT
	PROPOSED SEWER LINE AND MANHOLE
	PROPOSED SEWER JUNCTION
	EXISTING SEWER LINE
	EXISTING STORMWATER LINE

- NOTES**
- CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
 - DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
 - ALL EARTHWORKS TO COMPLY WITH AS3798.
 - ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
 - LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
 - ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
 - OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.

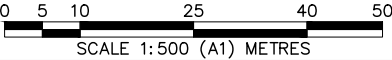


NOT FOR CONSTRUCTION



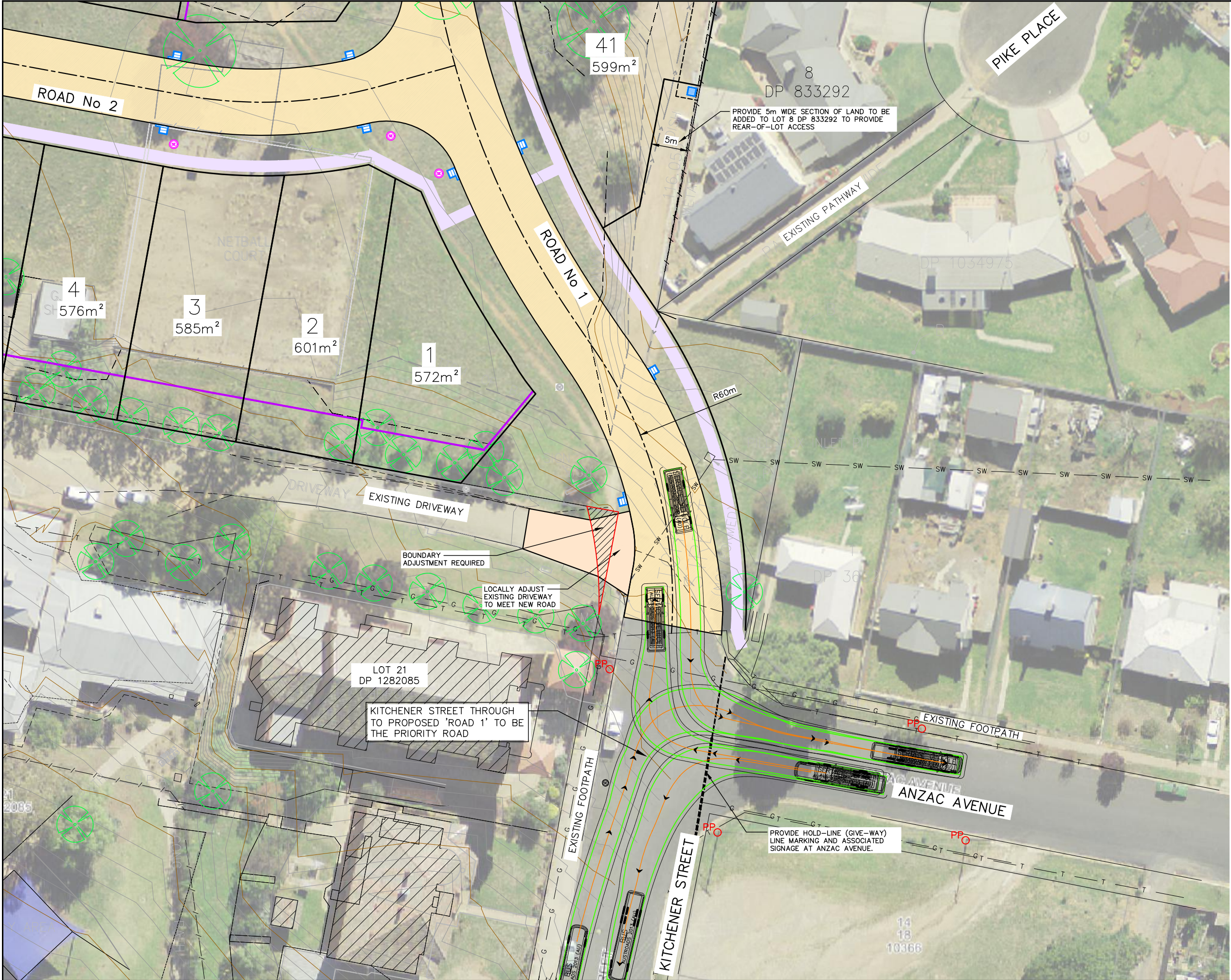
TYPICAL SECTION THRU ROAD 01 AND BATTER AT REAR OF LOTS 12-20
SCALE: 1:25 (A1) 1:50 (A3)

- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
 - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
 - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
 - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
 - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
 - 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
 - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.



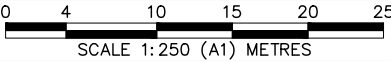
NOT FOR CONSTRUCTION

 BEFORE YOU DIG www.beyoudig.com.au UNDER GROUND SERVICES ARE APPROXIMATE ONLY. CONTACT RELEVANT AUTHORITY PRIOR TO ANY EXCAVATION OR CONSTRUCTION.	P5	19.07.2024	RE-ISSUED FOR DA APPROVAL	S.X	 XEROS PICCOLO CONSULTING ENGINEERS 5 BYE STREET WAGGA WAGGA, NSW, 2650 P (02) 6925 5855 F (02) 6925 5655 E WAGGA@XEROSPICCOLO.COM.AU A.C.N. 137 881 853	Project: PROPOSED SUBDIVISION JOHN POTTS DRIVE JUNEE NSW 2663			Sheet Title: TYPICAL SECTION			Project Number: 230781	
	P4	04.06.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X		Client: TROY RAULSTON HOMES			Checked:		Sheet Number: TYP1000 Revision Number: P5		
	P3	11.04.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X		Scale: AS SHOWN			Approved:				
	P2	06.03.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X		Design: S.X			Drawn: C.A				
							Date: FEB 2024						
No.	DATE	DETAILS	BY										



LEGEND	
MARK	ITEM
	EXISTING BUILDING
	PROPOSED ROAD
	PROPOSED 1.5m WIDTH CONCRETE FOOTPATH
	PROPOSED STORMWATER PIT
	PROPOSED SEWE MANHOLE
— S —	EXISTING SEWER LINE
— SW —	EXISTING STORMWATER LINE
— G —	EXISTING GAS LINE
— T —	EXISTING COMMUNICATION LINE
	EXISTING TREE
	EXISTING MAJOR CONTOURS AT 1.5m INCREMENTS
	EXISTING MINOR CONTOURS AT 0.3m INCREMENTS

- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
 - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
 - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
 - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
 - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
 - 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
 - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.



NOT FOR CONSTRUCTION

P5	19.07.2024	RE-ISSUED FOR DA APPROVAL	S.X
P4	04.06.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P3	11.04.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P2	06.03.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
No.	DATE	DETAILS	BY

XEROS PICCOLO
CONSULTING ENGINEERS

5 BYE STREET
WAGGA WAGGA, NSW, 2650
P (02) 6925 5855
F (02) 6925 5655
E WAGGA@XEROSPICCOLO.COM.AU
A.C.N. 137 881 853

Project: **PROPOSED SUBDIVISION**
JOHN POTTS DRIVE
JUNEE NSW 2663

Sheet Title: **PROPOSED ACCESS PLAN**

Client: TROY RAULSTON HOMES	Checked:	
Scale: 1:250 (A1) 1:500 (A3)	Approved:	
Design: S.X	Drawn: C.A	Date: FEB 2024

Project Number: 230781	Sheet Number: B1000	Revision Number: P5
-------------------------------	----------------------------	----------------------------



LEGEND	
MARK	ITEM
	PROPOSED ROAD
	PROPOSED CONCRETE FOOTPATH
	PROPOSED BOUNDARY
	PROPOSED EASEMENT
	APPROX EXTENT OF EXISTING UNCONTROLLED FILL
	INDICATES APPROX REMAINING LOT AREA WITH OVER 0.4m UNCONTROLLED FILL AFTER PROPOSED CUT EARTHWORKS
	PROPOSED STORMWATER LINE AND PIT
	PROPOSED SEWER LINE AND MANHOLE
	PROPOSED SEWER JUNCTION
	EXISTING SEWER LINE
	EXISTING STORMWATER LINE

NOTES

- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
- 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURAL FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
- 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
- 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
- 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
- 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
- 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.



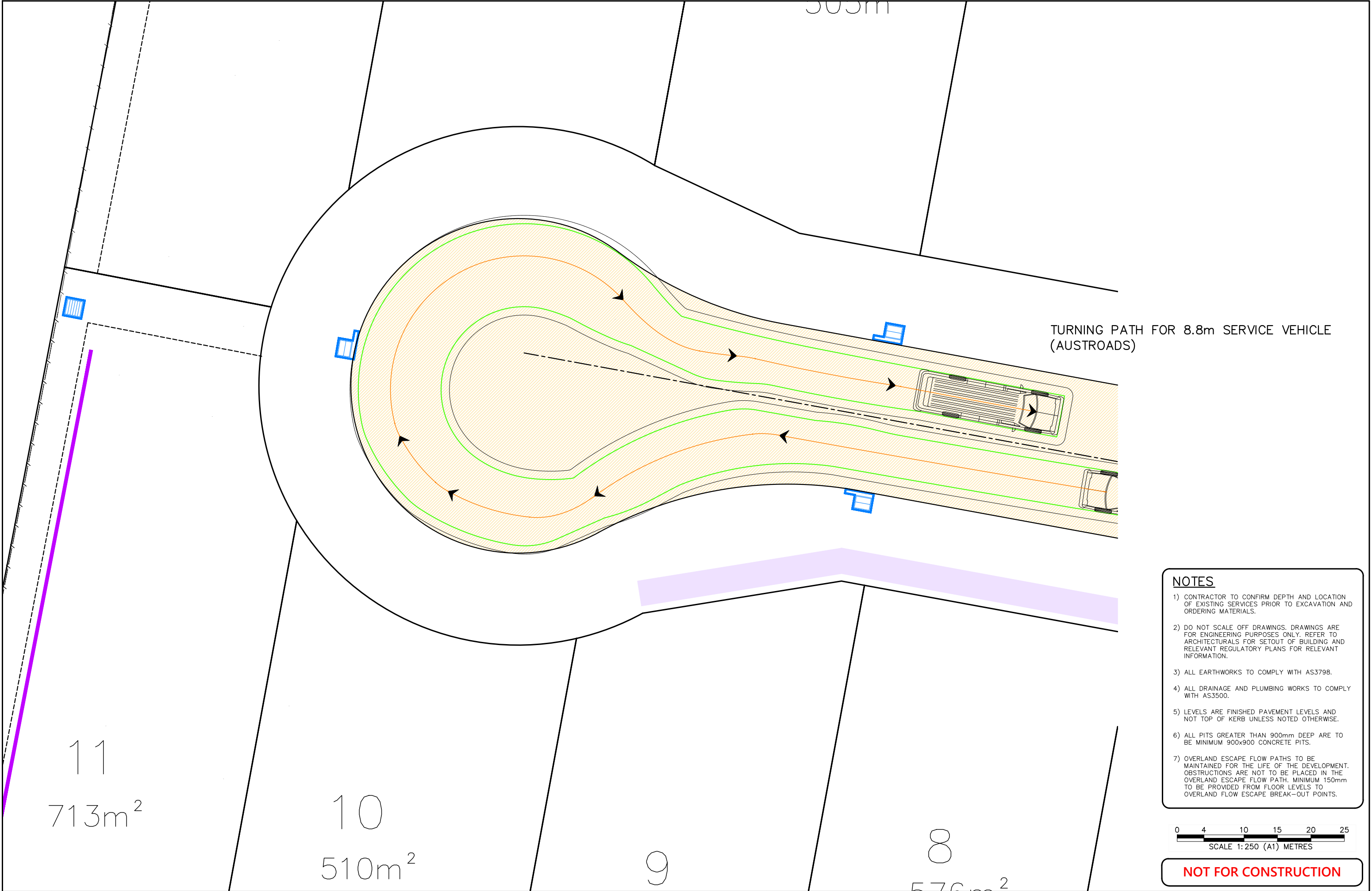
NOT FOR CONSTRUCTION

P5	19.07.2024	RE-ISSUED FOR DA APPROVAL	S.X
P4	04.06.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P3	11.04.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P2	06.03.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
No.	DATE	DETAILS	BY

Project:
**PROPOSED SUBDIVISION
JOHN POTTS DRIVE
JUNEE NSW 2663**

Sheet Title: **STORMWATER AND SEWER PLAN**
Client: TROY RAULSTON HOMES
Scale: 1:500 (A1) 1:1000 (A3) OR AS SHOWN
Design: S.X Drawn: C.A Date: FEB 2024

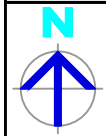
Project Number:
230781
Sheet Number:
B2000
Revision Number:
P5



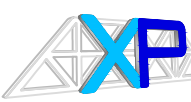
- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
 - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
 - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
 - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
 - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
 - 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
 - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS.



NOT FOR CONSTRUCTION



P5	19.07.2024	RE-ISSUED FOR DA APPROVAL	S.X
P4	04.06.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P3	11.04.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
P2	06.03.2024	RE-ISSUED FOR PRELIMINARY REVIEW	S.X
No.	DATE	DETAILS	BY



XEROS PICCOLO
CONSULTING ENGINEERS

5 BYE STREET
WAGGA WAGGA, NSW, 2650
P (02) 6925 5855
F (02) 6925 5655
E WAGGA@XEROSPICCOLO.COM.AU
A.C.N. 137 881 853

Project:
**PROPOSED SUBDIVISION
JOHN POTTS DRIVE
JUNEE NSW 2663**

Sheet Title: CUL-DE-SAC TURNING PATH PLAN		
Client: TROY RAULSTON HOMES		Checked:
Scale: 1:250 (A1) 1:500 (A3)		Approved:
Design: S.X	Drawn: C.A	Date: FEB 2024

Project Number: 230781	
Sheet Number: TP0001	Revision Number: P5